

CAMDEN WEST ESTATES

FINAL PLAT

INDEX LEGEND
 LOCATION: PARCEL 'J', SW 1/4 NW 1/4, SECTION 21-80-24, PT. LOTS 1, 2 AND A, NAGLE SAYLORVIEW ESTATES-PLAT 1
 REQUESTOR: STRAHAN CONSTRUCTION, INC.
 PROPRIETOR: STRAHAN CONSTRUCTION, INC. 477 SW CAMDEN DRIVE ANKENY, IOWA 50023
 SURVEYOR: LOUIS M. KELEHAN
 SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE
 PREPARED BY: CIVIL DESIGN ADVANTAGE
 & RETURN TO: 3405 SE CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PH: 515-369-4400

OWNER / DEVELOPER

STRAHAN CONSTRUCTION, INC.
 477 SW CAMDEN DRIVE
 ANKENY, IOWA 50023
 PH: 515-964-1419

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PH: 515-369-4400

DATE OF SURVEY

FIELDWORK: MAY, 2017

PLAT DESCRIPTION

PARCEL 'J' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 15104, PAGES 955-956 BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN AND A PART OF LOTS 1, 2 AND A, NAGLE SAYLORVIEW ESTATES-PLAT 1, AN OFFICIAL PLAT, ALL BEING IN POLK COUNTY, IOWA AND CONTAINING 5.42 ACRES (236,203 SQUARE FEET).

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

MDR - MEDIUM DENSITY RESIDENTIAL DISTRICT

BULK REGULATIONS

MIN LOT SIZE:	8,500 SF
MIN LOT WIDTH:	60'
FRONT SETBACK:	30'
SIDE SETBACK:	8'
REAR SETBACK:	30'
MAX BLDG HEIGHT:	35'
MAX BLDG COVERAGE:	40%

LEGEND

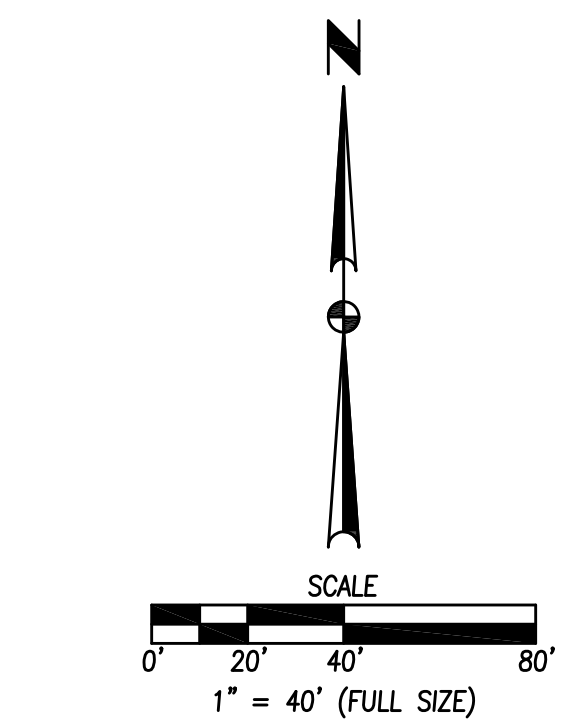
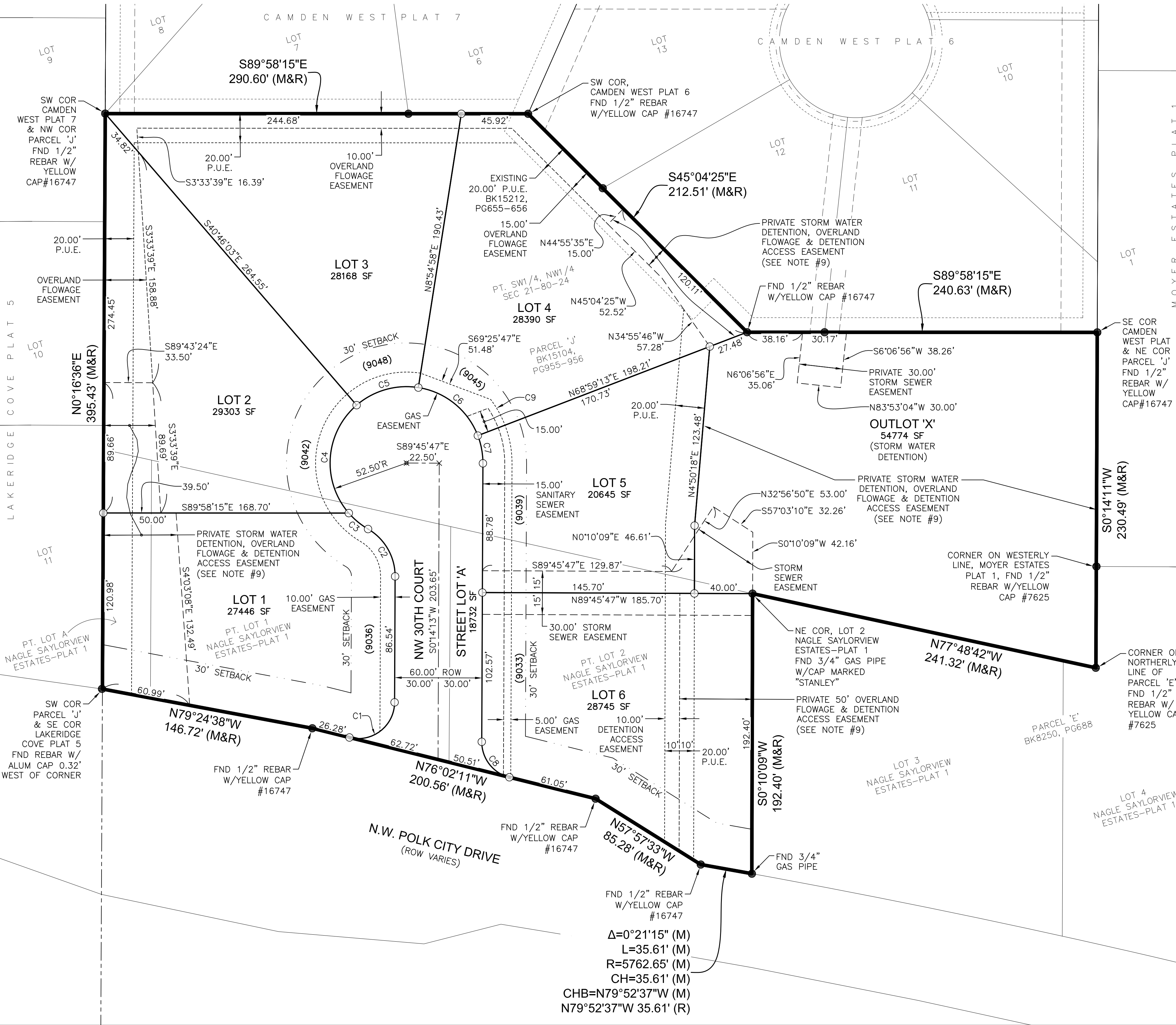
SECTION CORNER AS NOTED	FOUND	SET
1/2" REBAR, YELLOW CAP #18660 (UNLESS OTHERWISE NOTED)	▲	△
MEASURED BEARING & DISTANCE	●	○
RECORDED BEARING & DISTANCE	M	R
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
LOT ADDRESS	AL	(1234)
CENTERLINE	---	
SECTION LINE	----	
EASEMENT LINE	----	
BUILDING SETBACK LINE	----	
PLAT BOUNDARY	----	

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	103°43'35"	25.00'	45.26'	N52°06'01"E	39.33'
C2	60°00'00"	37.50'	39.27'	N29°45'47"W	37.50'
C3	18°48'29"	52.50'	17.23'	N50°21'32"W	17.16'
C4	90°11'15"	52.50'	82.64'	N4°08'20"E	74.37'
C5	49°41'01"	52.50'	45.52'	N74°04'28"E	44.11'
C6	60°04'15"	52.50'	55.04'	S51°02'55"E	52.56'
C7	21°15'00"	52.50'	19.47'	S10°23'17"E	19.36'
C8	76°16'25"	25.00'	33.28'	S37°53'59"E	30.88'
C9	16°00'48"	72.50'	20.26'	S29°01'11"E	20.20'

NOTES

- NO LOTS WILL BE ALLOWED TO HAVE DRIVEWAY ACCESS TO N.W. POLK CITY DRIVE.
- WATER SERVICE SOURCE WILL BE DES MOINES WATER WORKS.
- SEWAGE DISPOSAL WILL BE INDIVIDUAL SEPTIC SYSTEMS.
- MAILBOXES LOCATED IN THE ROAD RIGHT-OF-WAY SHALL BE OF BREAKAWAY DESIGN.
- ALL SERVICES TO UTILITIES LOCATED ON THE OPPOSITE SIDE OF THE ROADWAY MUST BE BORED UNDER THE ROADWAY AT THE LOT OWNER'S EXPENSE.
- MAINTENANCE OF OVERLAND FLOWAGE EASEMENTS ON LOTS 2, 3 AND 4 SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- POST-DEVELOPMENT RUNOFF WILL NOT ADVERSELY AFFECT DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY.
- ANY SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED MUST BE RESTORED OR REROUTED BY THE PROPERTY OWNER.
- BOTH STORM WATER DETENTION BASINS ON LOTS 1 AND OUTLOT 'X', THEIR PRIVATE OUTLET PIPES, THE STORM SEWER IN OUTLOT 'X' ON THE NORTH SIDE OF THE LOT AND THE LOT 6 OVERLAND FLOWAGE EASEMENT WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- IN THE EVENT THAT THIS AREA IS ANNEXED BY THE CITY OF ANKENY, THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTS AND PUBLIC SIDEWALKS TO ANKENY MUNICIPAL STANDARDS.
- STREET LOT 'A' SHALL BE DEDICATED TO POLK COUNTY FOR ROADWAY PURPOSES AT SUCH TIME THE ROADWAY HAS BEEN IMPROVED AND ACCEPTED INTO THE POLK COUNTY SECONDARY ROAD SYSTEM BY THE POLK COUNTY BOARD OF SUPERVISORS.
- IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES.
- DUE TO SOIL TYPES, LIMITATIONS, AND DISTURBANCE, ALTERNATIVE SEPTIC SYSTEMS MAY BE REQUIRED. INDIVIDUAL WASTEWATER TREATMENT SYSTEMS SHALL BE DESIGNED BY AN ENGINEER.
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

NOT FOR CONSTRUCTION

LOUIS M. KELEHAN, P.L.S. DATE: _____
 18660
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2019
 PAGES OR SHEETS COVERED BY THIS SEAL: _____
 THIS SHEET _____

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FINAL PLAT

CIVIL DESIGN ADVANTAGE
 POLK COUNTY, IOWA

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: _____ REVIEW: _____
 TECH: _____

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