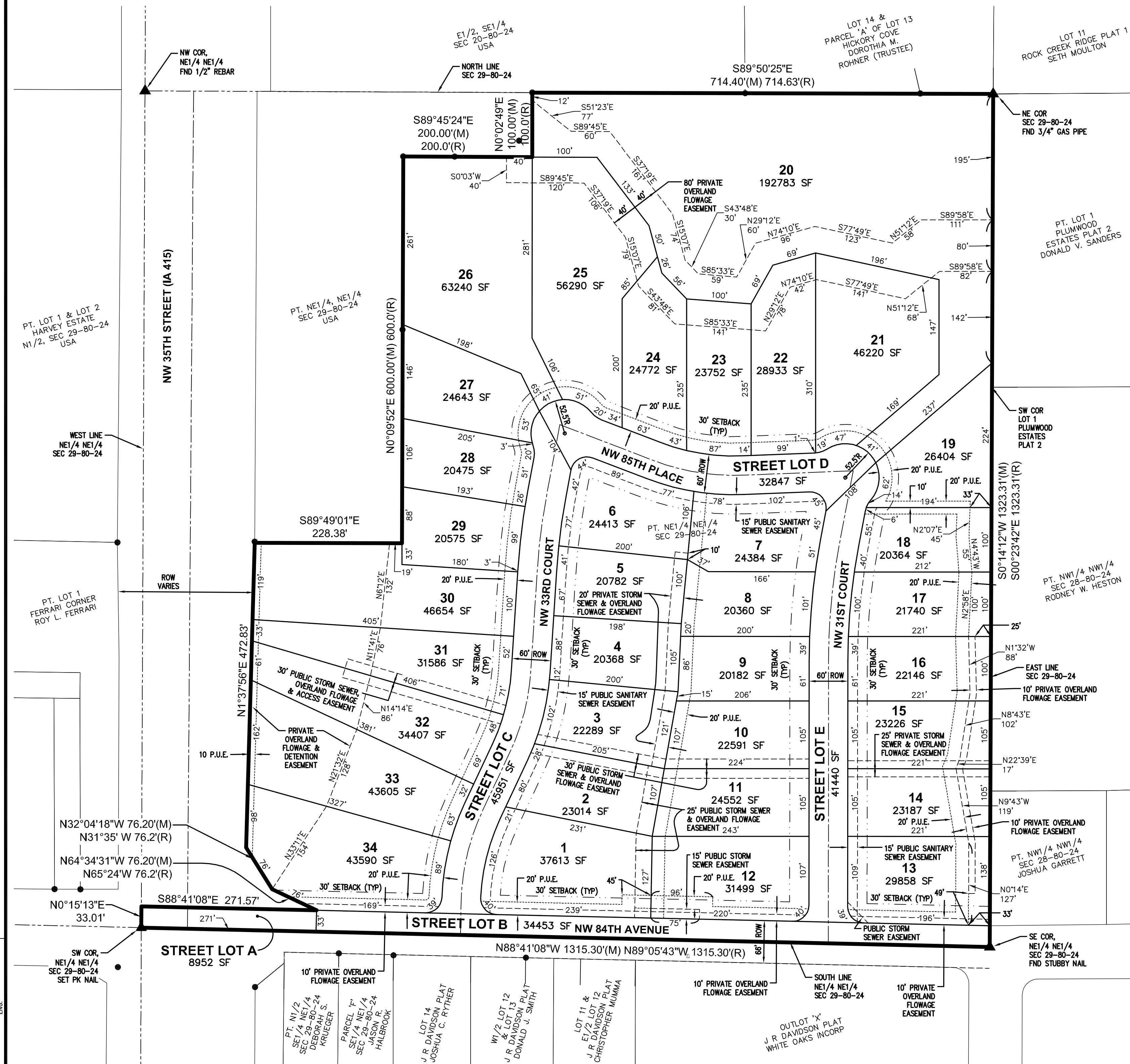


# CAMDEN COUNTRY ESTATES

## PRELIMINARY PLAT (SHEET 1 OF 2)



### OWNER / DEVELOPER

STRAHAN CONSTRUCTION, INC.  
477 SW CAMDEN DRIVE  
ANKENY, IOWA 50023  
PH: 515-964-1419

### ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH: 515-369-4400

### ZONING

MDR - MEDIUM DENSITY RESIDENTIAL DISTRICT

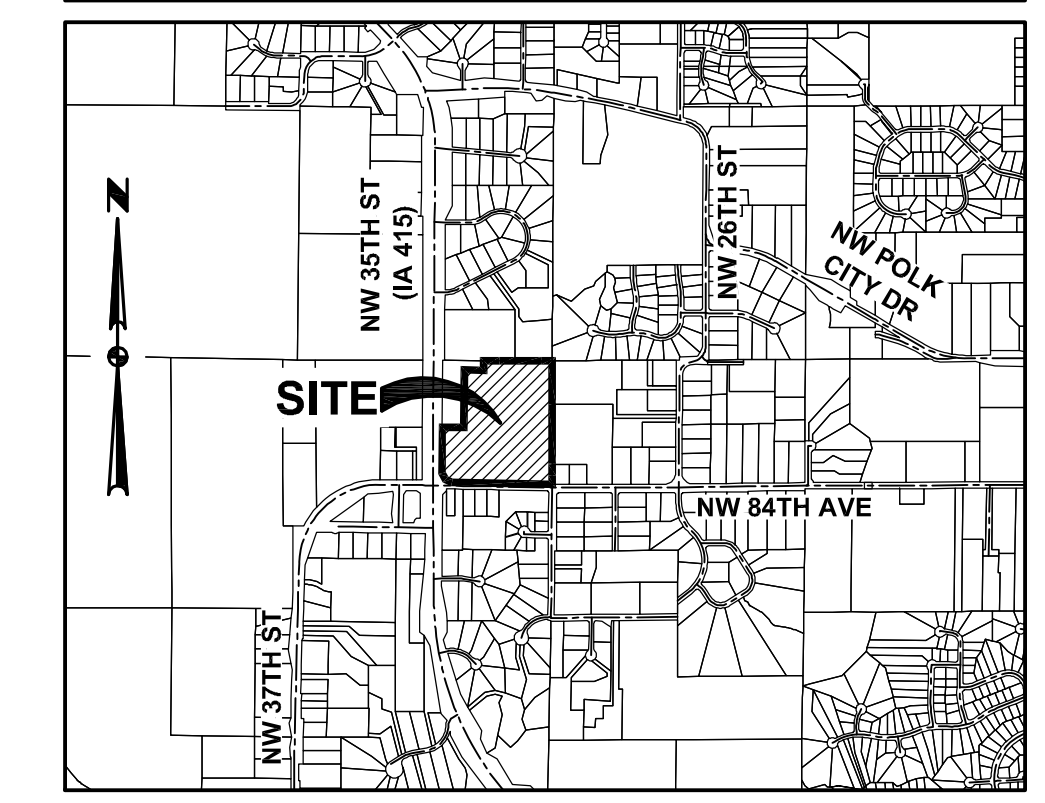
### BULK REGULATIONS

MIN LOT SIZE:	15,000 SF
MIN LOT WIDTH:	60'
FRONT SETBACK:	30'
SIDE SETBACK:	8'
REAR SETBACK:	30'
MAX BLDG HEIGHT:	35'
MAX BLDG COVERAGE:	40%

### NOTES

- NO LOTS WILL BE ALLOWED TO HAVE DRIVEWAY ACCESS TO N.W. 84TH AVENUE OR N.W. 35TH STREET.
- WATER SERVICE SOURCE WILL BE DES MOINES WATER WORKS.
- SEWAGE DISPOSAL WILL BE INDIVIDUAL SEPTIC SYSTEMS.
- MAILBOXES LOCATED IN THE ROAD RIGHT-OF-WAY SHALL BE OF BREAKAWAY DESIGN.
- ALL SERVICES TO UTILITIES LOCATED ON THE OPPOSITE SIDE OF THE ROADWAY MUST BE BORED UNDER THE ROADWAY AT THE LOT OWNER'S EXPENSE.
- POST-DEVELOPMENT RUNOFF WILL NOT ADVERSELY AFFECT DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY.
- ANY SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED MUST BE RESTORED OR REROUTED BY THE PROPERTY OWNER.
- IN THE EVENT THAT THIS AREA IS ANNEXED BY THE CITY OF ANKENY, THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTS AND PUBLIC SIDEWALKS TO ANKENY MUNICIPAL STANDARDS.
- CULVERTS TO BE USED FOR CROSSING DRAINAGE EASEMENTS MUST BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
- STREET LOTS A, B, C, D & E SHALL BE DEEDED TO POLK COUNTY FOR ROADWAY PURPOSES.
- THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE DETENTION BASIN AND OUTLET STRUCTURE WITHIN THE PRIVATE OVERLAND FLOWAGE AND DETENTION EASEMENT ON LOTS 30-34. THE ACCESS EASEMENT ON LOTS 31 & 32 WILL BE USED BY THE HOMEOWNER'S ASSOCIATION TO ACCESS THE DETENTION BASIN & OUTLET STRUCTURE.
- THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE PRIVATE STORM SEWERS LOCATED WITHIN THE PRIVATE STORM SEWER AND OVERLAND FLOWAGE EASEMENTS ON LOTS 3-10, 14 AND 15.
- THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE CHANNEL LOCATED WITHIN THE PRIVATE OVERLAND FLOWAGE EASEMENT ON LOTS 20-26.

### VICINITY MAP (1"=2000')



### LEGEND

PROPOSED	EXISTING
GROUND SURFACE CONTOUR	GROUND SURFACE CONTOUR
TYPE SW-501 STORM INTAKE	SANITARY MANHOLE
TYPE SW-503 STORM INTAKE	WATER VALVE BOX
TYPE SW-505 STORM INTAKE	FIRE HYDRANT
TYPE SW-506 STORM INTAKE	WATER CURB STOP
TYPE SW-513 STORM INTAKE	WELL
TYPE SW-401 STORM MANHOLE	STORM SEWER MANHOLE
TYPE SW-402 STORM MANHOLE	STORM SEWER SINGLE INTAKE
TYPE SW-301 SANITARY MANHOLE	STORM SEWER DOUBLE INTAKE
STORM/SANITARY CLEANOUT	FLARED END SECTION
FIRE HYDRANT ASSEMBLY	DECIDUOUS TREE
SIGN	DECIDUOUS SHRUB
DETECTABLE WARNING PANEL	CONIFEROUS SHRUB
SANITARY SEWER WITH SIZE	ELECTRIC POWER POLE
STORM SEWER	GUY ANCHOR
WATERMAIN WITH SIZE	STREET LIGHT
	POWER POLE W/ TRANSFORMER
	UTILITY POLE W/ LIGHT
	ELECTRIC BOX
	ELECTRIC TRANSFORMER
	ELECTRIC MANHOLE OR VAULT
	TRAFFIC SIGN
	TELEPHONE JUNCTION BOX
	TELEPHONE MANHOLE/VAULT
	TELEPHONE POLE
	GAS VALVE BOX
	CABLE TV JUNCTION BOX
	CABLE TV MANHOLE/VAULT
	MAIL BOX
	BENCHMARK
	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

### PRELIMINARY PLAT DESCRIPTION

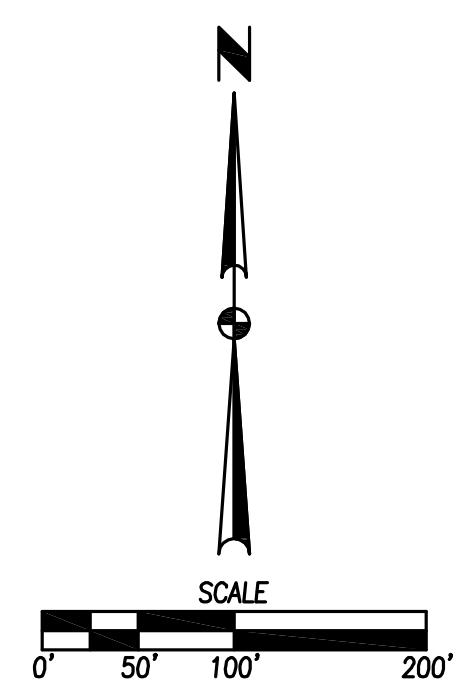
BOOK 9876, PAGE 227  
THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 29, TOWNSHIP EIGHTY (80) NORTH, RANGE 24 WEST OF THE 5TH P.M. EXCEPT PROPERTY OF THE UNITED STATES GOVERNMENT FOR SAYLORVILLE LAKE PURPOSES AS RECORDED IN BOOK 3742 PAGE 49 AND IN BOOK 6504 PAGE 220.  
PROPERTY CONTAINS 30.40 ACRES (1,324,140 SQUARE FEET).  
PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### BENCHMARK

- FOUND STUBBY NAIL AT THE SW COR, NW1/4 NW1/4, SEC 28-80-24. ELEVATION = 944.97.
- NGS MONUMENT MH0677 ELEVATION = 1008.00

### SUMP SERVICE NOTES

- SUMP PUMP SERVICE OUTLETS FOR LOTS 1-12 TO BE CONNECTED TO STORM SEWER STRUCTURES LOCATED IN THE REAR YARDS.
- SUMP PUMP SERVICE OUTLETS FOR LOTS 13-19, 28-29 & 31-32 TO BE CONNECTED TO STORM SEWER STRUCTURES LOCATED ALONG THE STREET.
- SUMP PUMP SERVICE OUTLETS FOR LOTS 20-27, 30, 33 & 34 WILL BE ON GRADE TO REAR YARDS.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

MICHAEL D. LEE, P.E., S.S.  
16747  
DATE \_\_\_\_\_  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2014  
PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEETS 1 & 2

FILE: H:\V\150208\150208\150208-PLAT.DWG  
DRAWN: J. G. KREIBER  
CHECKED: J. G. KREIBER  
DATE: 12/23/2015 9:31 AM  
PLOT: 150208-PLAT.DWG  
TECH: LMK

**CAMDEN COUNTRY ESTATES**  
**PRELIMINARY PLAT**  
 POLK COUNTY, IOWA  
 3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 TECH: LMK  
 ENGINEER: RDR  
 CIVIL DESIGN ADVANTAGE

DATE	REVISIONS
12/23/15	THIRD SUBMITTAL
11/05/15	SECOND SUBMITTAL
08/17/15	FIRST SUBMITTAL

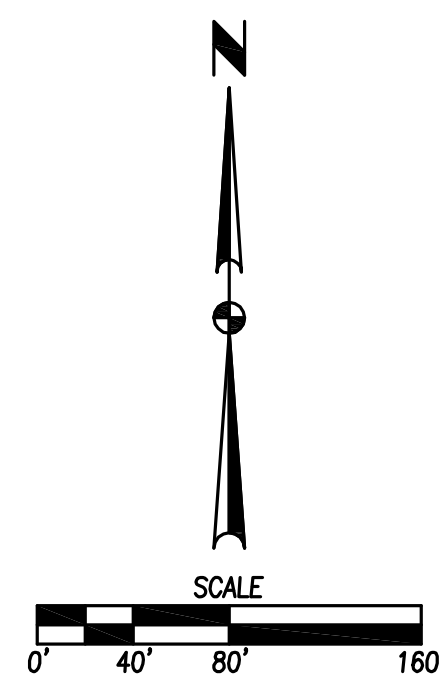
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# CAMDEN COUNTRY ESTATES

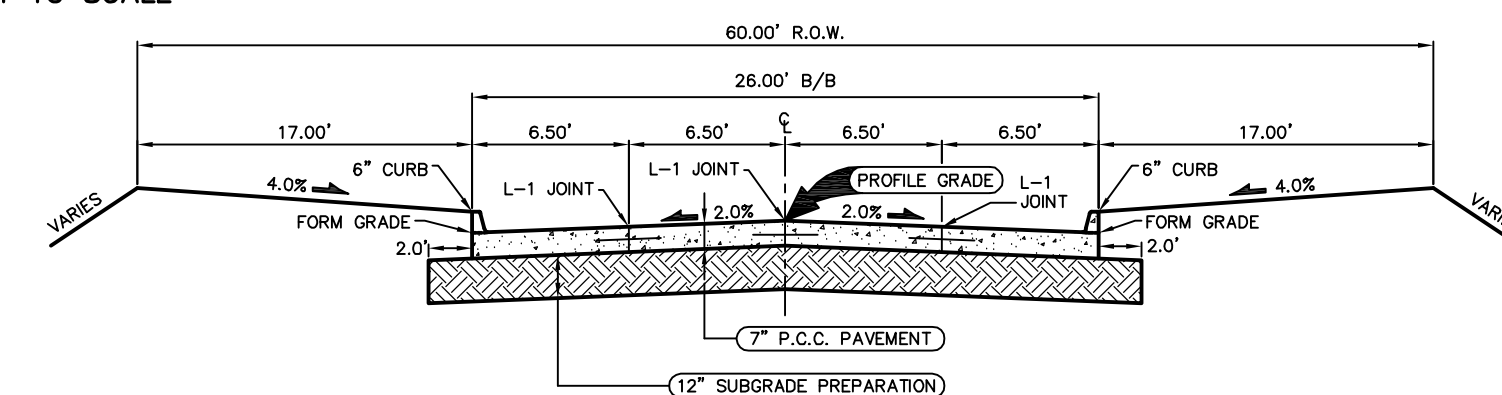
## PRELIMINARY PLAT (SHEET 2 OF 2)

DATE	12/23/15
REVISIONS	17/05/15
THIRD SUBMITTAL	08/17/15
SECOND SUBMITTAL	
FIRST SUBMITTAL	



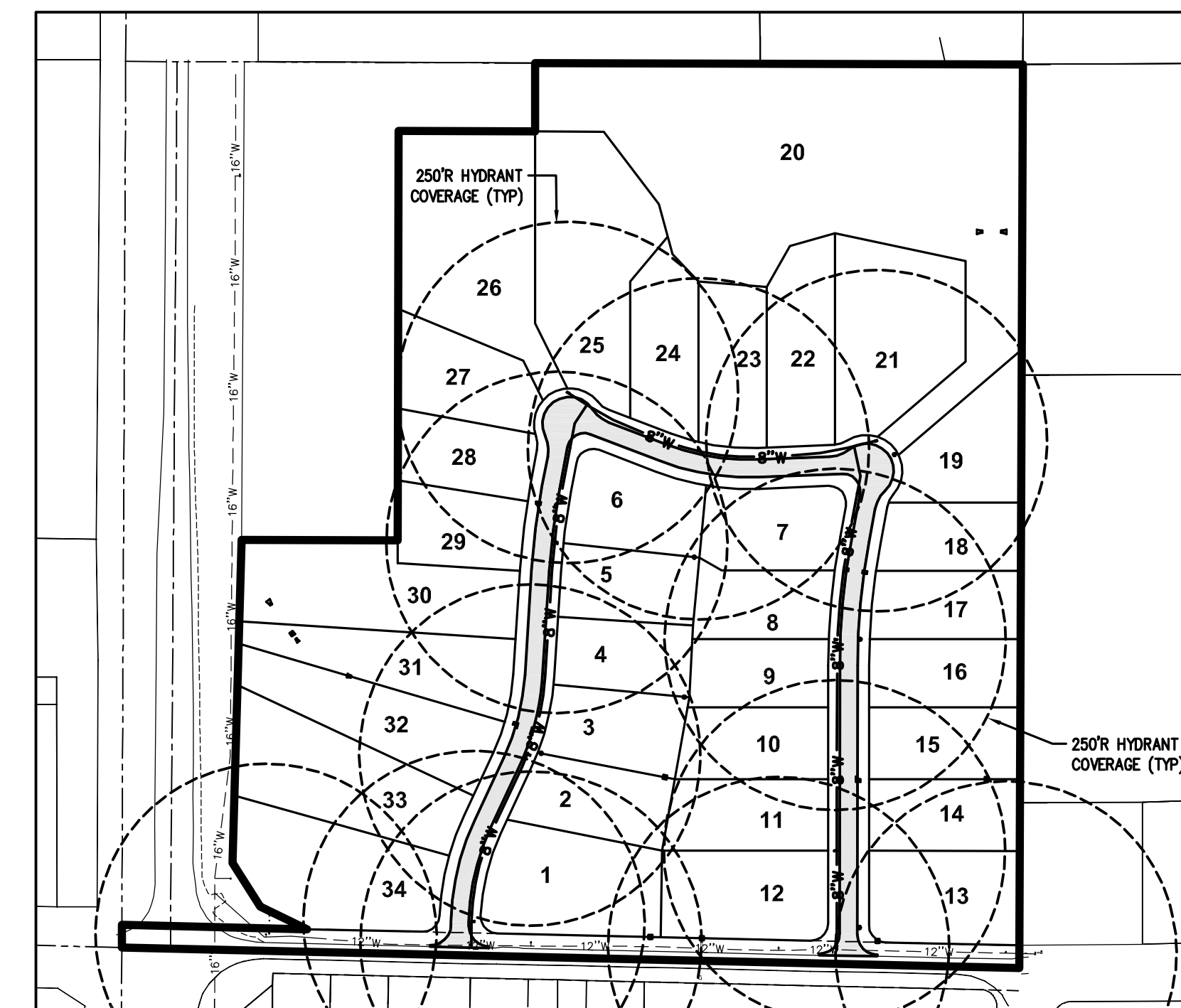
### TYPICAL SECTION - 26' P.C.C. ROADWAY WITH 60' ROW

NOT TO SCALE



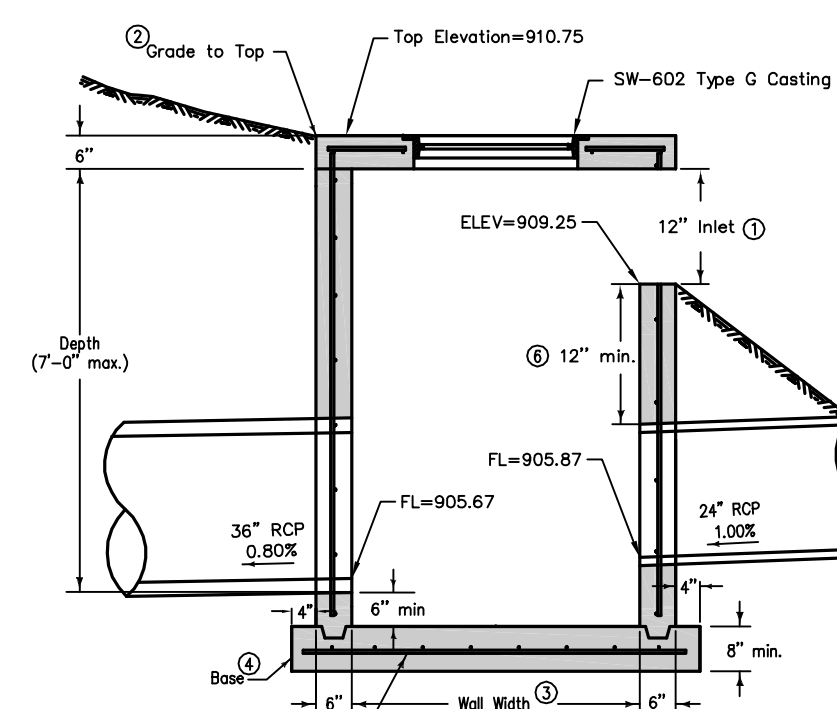
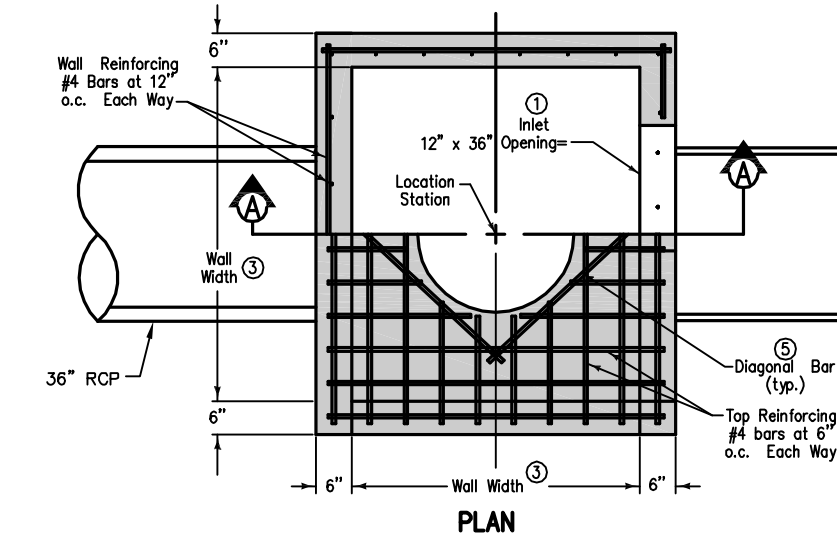
### HYDRANT COVERAGE PLAN

1"=200' (FULL SIZE)



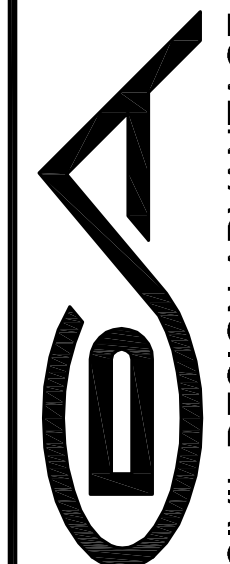
### DETENTION BASIN OUTLET DETAIL

NOT TO SCALE



- 1 Construct 1 inlet opening with 18-inch #4 epoxy-coated bars at 8 inches on center. Embed bars a minimum of 3 inches into wall and top of all openings. Construct 1 inlet opening 12" tall by 36" wide.
- 2 Grade to inlet elevation on open side. Grade to top elevation on closed side.
- 3 Wall width is 60". Provide 6 inches of wall width (minimum) each side of pipe opening. Minimum wall width is 36 inches. Maximum wall width is 72 inches.
- 4 Cast-in-place base slab. If base is precast integral with walls, the footprint of base is not required to extend beyond the outer edge of the walls.
- 5 Install four #4 diagonal bars at all pipe openings.
- 6 12" minimum wall height above all pipes.

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410



POLK COUNTY, IOWA

**CAMDEN COUNTRY ESTATES**  
**PRELIMINARY PLAT**

FILE: H:\1502066\1502066-PLAT.DWG  
DRAWN: R. J. GRIFFIN  
CHECKED: G. R. KLEHMAN  
PLOT DATE: 12/23/15 9:31 AM