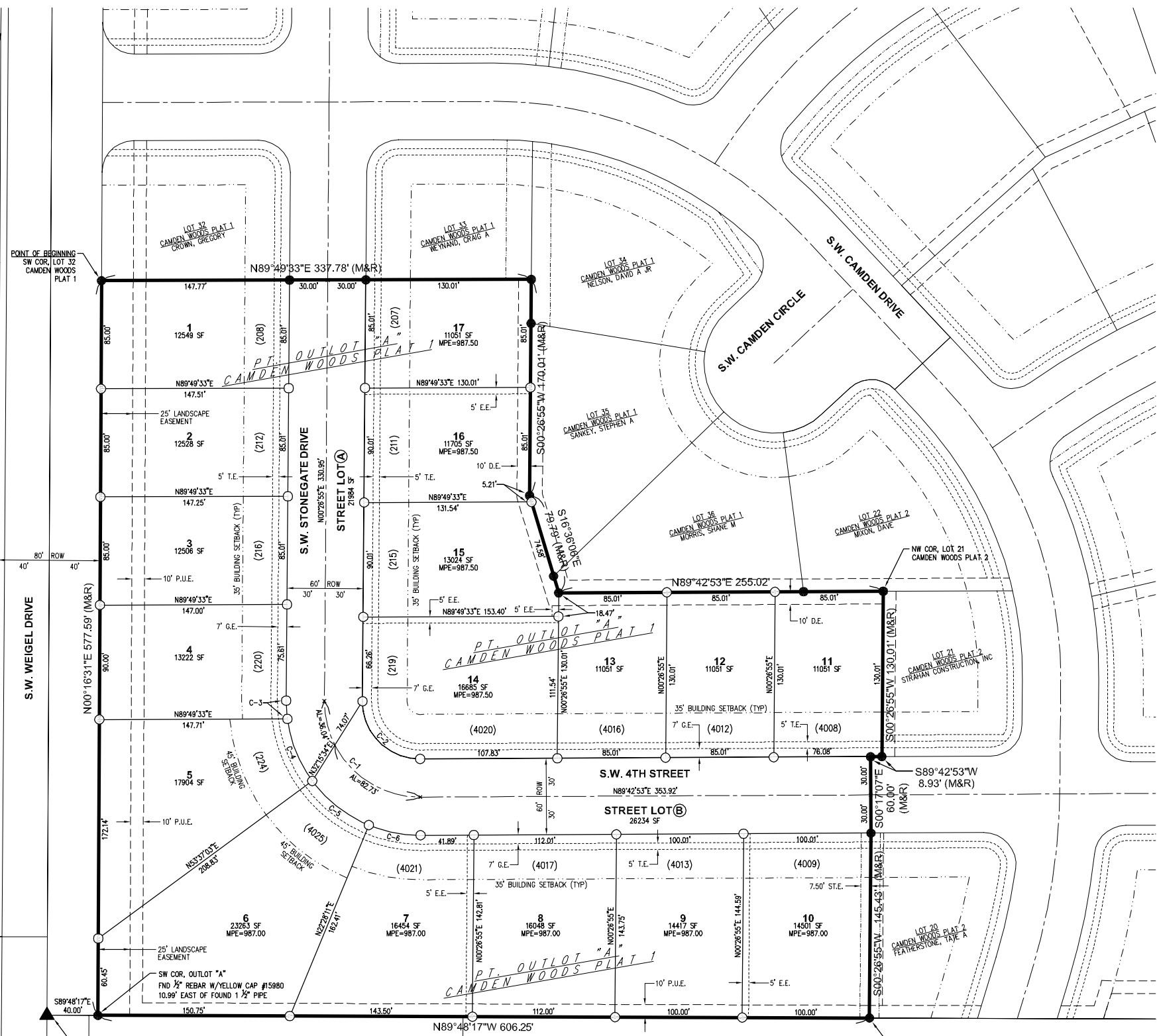


CAMDEN WOODS PLAT 3

FINAL PLAT



PLAT DESCRIPTION

A PART OF OUTLOT "A", CAMDEN WOODS PLAT 1, AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 32 OF SAID CAMDEN WOODS PLAT 1; THENCE NORTH 89°49'33" EAST ALONG THE NORTHERLY LINE OF SAID OUTLOT "A", 337.78 FEET; THENCE SOUTH 00°26'55" WEST CONTINUING ALONG SAID NORTHERLY LINE, 170.01 FEET; THENCE SOUTH 16°36'06" EAST CONTINUING ALONG SAID NORTHERLY LINE, 79.79 FEET; THENCE NORTH 89°42'53" EAST CONTINUING ALONG SAID NORTHERLY LINE, 255.02 FEET TO THE NORTHWEST CORNER OF LOT 21, CAMDEN WOODS PLAT 2, AN OFFICIAL PLAT; THENCE SOUTH 00°26'55" WEST ALONG THE WESTERLY LINE OF SAID CAMDEN WOODS PLAT 2, A DISTANCE OF 130.01 FEET; THENCE SOUTH 89°42'53" WEST CONTINUING ALONG SAID WESTERLY LINE, 8.93 FEET; THENCE SOUTH 00°17'07" EAST CONTINUING ALONG SAID WESTERLY LINE, 60.00 FEET; THENCE SOUTH 00°26'55" WEST CONTINUING ALONG SAID WESTERLY LINE, 145.43 FEET TO THE SOUTH LINE OF SAID OUTLOT "A"; THENCE NORTH 89°48'17" WEST ALONG SAID SOUTH LINE, 606.25 FEET TO THE SOUTHWEST CORNER OF SAID OUTLOT "A"; THENCE NORTH 00°16'31" EAST ALONG THE WEST LINE OF SAID OUTLOT "A", 577.59 FEET TO THE POINT OF BEGINNING AND CONTAINING 6.59 ACRES (287,230 S.F.).

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

OWNER / DEVELOPER

STRAHAN CONSTRUCTION, INC.
204 SW CAMDEN DR
ANKENY, IOWA 50021
PH: 515-964-1419

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
5501 NW 112TH STREET, SUITE G
GRIMES, IOWA 50111
PH: 515-369-4400

ZONING

R-1: ONE-FAMILY RESIDENCE DISTRICT

CURVE DATA

CURVE	CURVE TABLE					
	DELTA	RADIUS	LENGTH	TANGENT	CH BEARING	CH DISTANCE
C-1	90°44'02"	75.00	118.77	75.97	S44°55'06"E	106.74
C-2	90°44'02"	45.00	71.26	45.58	S44°55'06"E	64.05
C-3	7°52'28"	105.00	14.43	7.23	S03°29'19"E	14.42
C-4	28°57'24"	105.00	53.07	27.11	S21°54'19"E	52.50
C-5	31°08'52"	105.00	57.08	29.26	S51°57'23"E	56.38
C-6	22°45'18"	105.00	41.70	21.13	S78°54'28"E	41.43

NOTES

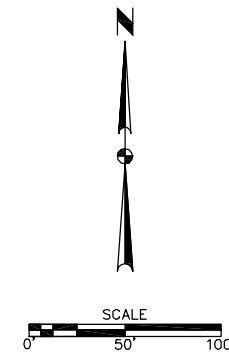
- DRIVEWAY ACCESS TO S.W. WEIGEL DRIVE WILL NOT BE ALLOWED FOR LOTS 1-6.
- THE DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF SIDEWALKS AND STREETLIGHTS REQUIRED ALONG THE EAST SIDE OF S.W. WEIGEL DRIVE.

LEGEND

SURVEY	FOUND	SET
SECTION CORNER	▲	△
1/2" REBAR, YELLOW CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
ROW MARKER	■	□
ROW RAIL	—	—
PLATTED DISTANCE	(P)	
MEASURED BEARING & DISTANCE	(M)	
RECORDED AS	(R)	
DEED DISTANCE	(D)	
CALCULATED DISTANCE	(C)	
CURVE ARC LENGTH	AL	
MINIMUM 100 YEAR FLOOD PROTECTION ELEVATION	M.P.E.	
PUBLIC UTILITY EASEMENT	P.U.E.	
ELECTRIC LINE EASEMENT	E.E.	
GAS EASEMENT	G.E.	
TREE EASEMENT	T.E.	
DRAINAGE EASEMENT	D.E.	
SANITARY SEWER EASEMENT	S.E.	
STORM SEWER EASEMENT	ST.E.	
WATER MAIN EASEMENT	W.E.	
CENTERLINE	—	
SECTION LINE	---	
EASEMENT LINE	---	
LOT LINE	---	
PLAT BOUNDARY	---	

BENCHMARK

- SANITARY RIM AT SE QUADRANT OF THE INTERSECTION OF S.W. CAMDEN DR. & S.W. STONEGATE DR. ELEVATION = 996.32'
- SANITARY RIM AT SE QUADRANT OF THE INTERSECTION OF S.W. CAMDEN DR. & S.W. 4TH ST./CT. ELEVATION = 990.32'



PRELIMINARY

NOT FOR CONSTRUCTION

Michael A. Peterson, P.L.S.
License Number 15980
My License Renewal Date is December 31, 2008
Pages or Sheets Covered by this Seal: SHEET 2

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEYING WORK WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DATE _____

5501 NW 112TH SUITE G GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
ENGINEER: RDR/MPW TECH: LMK



CAMDEN WOODS PLAT 3
 FINAL PLAT
 ANKENY, IOWA

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