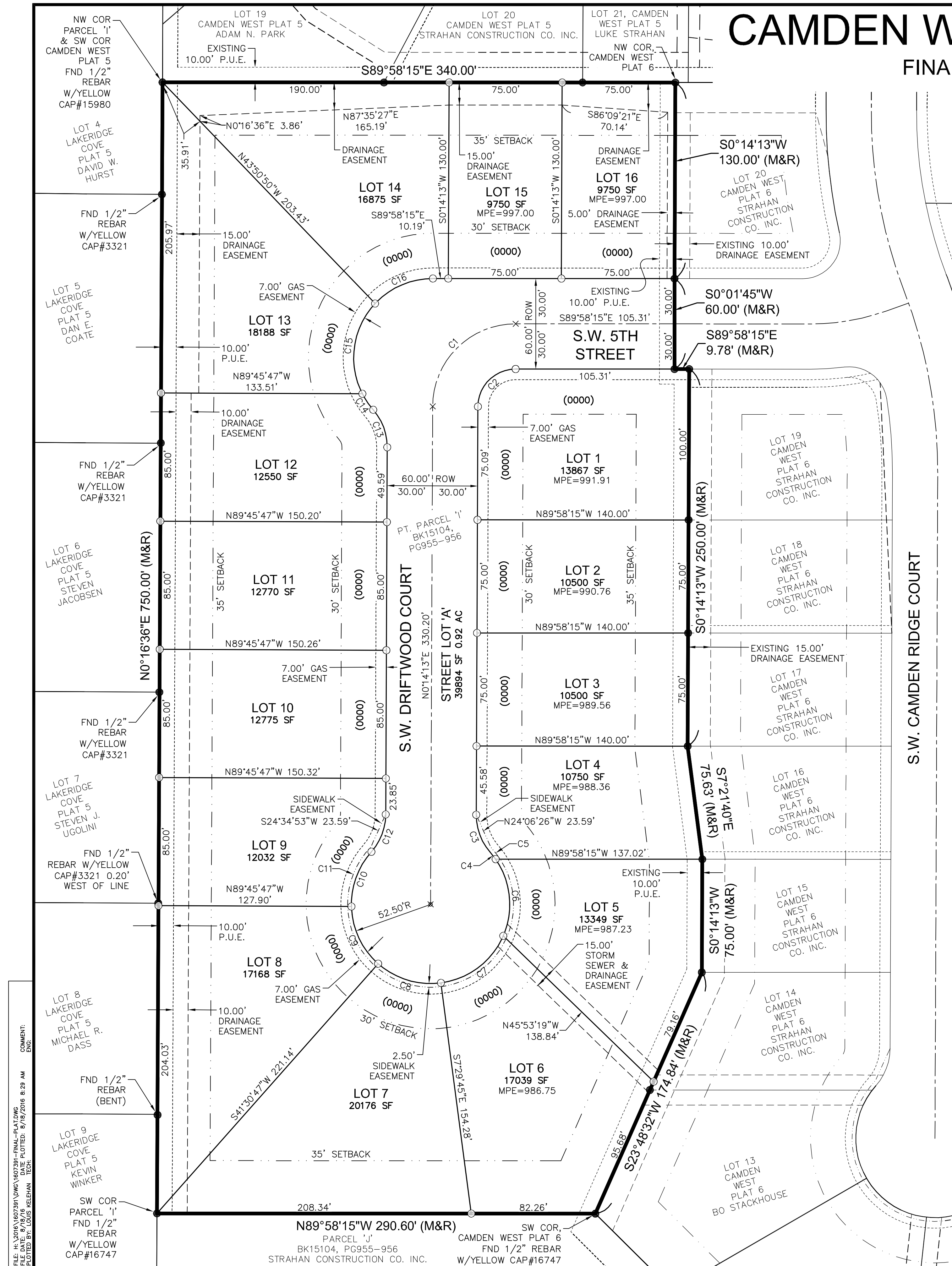


CAMDEN WEST PLAT 7

FINAL PLAT



OWNER / DEVELOPER

STRAHAN CONSTRUCTION, INC.
477 SW CAMDEN DR
ANKENY, IOWA 50023
PH: 515-964-1419

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: 515-369-4400

ZONING

R-2: ONE-FAMILY AND TWO-FAMILY RESIDENCE DISTRICT (WITH CONDITIONS)

CONDITIONS:
1. RESTRICTED TO SINGLE-FAMILY

DATE OF SURVEY

JANUARY, 2015

NOTES

- ALL SIDEWALKS SHALL BE 5' WIDE.
- LOTS 3-10 WILL REQUIRE PRIVATE EJECTOR PUMPS FOR BASEMENT SANITARY SEWER SERVICE. ALL OTHER LOTS SHALL PAY SPECIAL ATTENTION TO BASEMENT ELEVATION RELATIONSHIP TO SANITARY SEWER SERVICE.

PLAT DESCRIPTION

PARCEL '1' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 15104, PAGES 955-956 BEING PART OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 80 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, IN THE CITY OF ANKENY, POLK COUNTY, IOWA; EXCEPT CAMDEN WEST PLAT 6, AN OFFICIAL PLAT IN SAID CITY OF ANKENY.

PROPERTY CONTAINS 5.92 ACRES (257,933 SQUARE FEET).
PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD

LEGEND

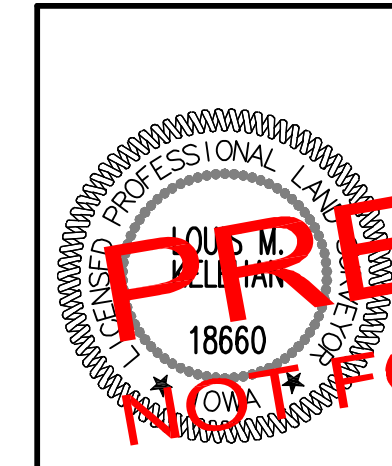
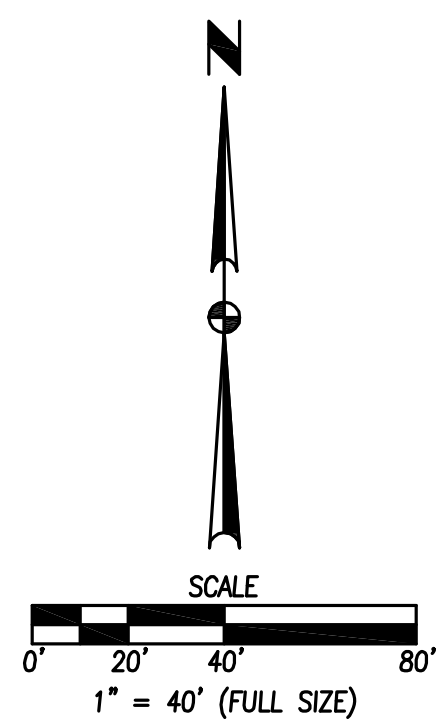
	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP #18660 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
MINIMUM PROTECTION ELEVATION	MPE	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	---	
SECTION LINE	----	
EASEMENT LINE	-----	
BUILDING SETBACK LINE	-----	
PLAT BOUNDARY	-----	

BENCHMARK

- SANITARY SEWER MANHOLE RIM LOCATED ON THE SOUTH SIDE OF S.W. 4TH STREET AT THE N.E. CORNER OF LOT 9, CAMDEN WEST PLAT 4. MANHOLE IS 20' +/- SOUTH OF CURBLINE. ELEVATION = 999.89.
- SANITARY SEWER MANHOLE RIM LOCATED ON THE S.E. SIDE OF S.W. DRIFTWOOD DRIVE AT THE MIDPOINT OF N.W. LOT LINE OF LOT 16, CAMDEN WEST PLAT 2. MANHOLE IS 10' +/- S.E. OF CURBLINE. ELEVATION = 1003.57.

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	89°47'32"	55.00'	86.19'	N45°07'59"E	77.64'
C2	89°47'32"	25.00'	39.18'	S45°07'59"W	35.29'
C3	41°24'35"	37.50'	27.10'	S20°28'04"E	26.52'
C4	6°21'19"	52.50'	5.82'	S37°59'42"E	5.82'
C5	10°30'05"	55.00'	10.08'	N38°16'27"W	10.07'
C6	58°14'36"	52.50'	53.37'	S5°41'44"E	51.10'
C7	59°04'41"	52.50'	54.13'	S52°57'55"W	51.77'
C8	49°00'32"	52.50'	44.91'	N72°59'29"W	43.55'
C9	46°57'14"	52.50'	43.02'	N25°00'36"W	41.83'
C10	43°10'47"	52.50'	39.57'	N20°03'25"E	38.64'
C11	45°27'05"	55.00'	43.63'	S21°16'23"W	42.50'
C12	41°24'35"	37.50'	27.10'	N20°56'31"E	26.52'
C13	41°24'35"	37.50'	27.10'	N20°28'04"W	26.52'
C14	14°03'27"	52.50'	12.88'	N34°08'38"W	12.85'
C15	70°13'46"	52.50'	64.35'	N7°59'59"E	60.40'
C16	46°54'53"	52.50'	42.99'	N66°34'19"E	41.80'



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

LOUIS M. ZELLMAN, P.L.S.
18660
DATE _____

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET _____

DATE: 08/19/16

REVISIONS:

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: LMK

ENGINEER: RDR

CAMDEN WEST PLAT 7
FINAL PLAT

ANKENY, IOWA

2
10

1607.391